



September 19, 2024

City of Kelowna

Urban Planning Department

1435 Water Street, Kelowna BC

V1Y 1J4

Development Permit Application for MF1 – Infill Housing at 894 Morrison Avenue, Kelowna BC

Introduction

Dear Planning Staff,

The purpose of this application is to secure a Form and Character Development Permit for the proposed five-dwelling housing project at 894 Morrison Avenue. The goal for this site is to create a project which is safe, livable, accessible, and establishes a sense of community for all new and existing residents of the neighbourhood. With the recently constructed Ethel Street – Active Transportation Corridor, we believe this proposal will blend seamlessly into the existing rhythm of the neighbourhood and allow future residents to walk or cycle to Urban Centres such as Pandosy or Downtown. The property is fronting both Morrison Avenue and Ethel Street, with vehicle access from the rear lane. The existing dwelling will be removed as part of the application process.

Official Community Plan Objectives

In addition to many of the specific form and character guidelines from Sections 3.3.1 – 3.3.6, the project meets the following “Key Guidelines” for townhouse and infill projects in the 2040 OCP:

3.2.1 a - Configure building massing to reflect the general scale of buildings in the surrounding area (see 3.3.2).

3.2.1 b - For each unit, provide well-designed, generous outdoor amenity spaces at grade that offer privacy and screening, as well as attractive interfaces with the street and open spaces (see 3.3.1).

3.2.1 d - Limit impermeable surfaces in landscaped areas and open spaces to maximize stormwater infiltration.

3.2.1 e - Use building articulation, scaling, and setbacks to define individual units in a way that is clearly oriented to pedestrians rather than to vehicles and that emphasizes connection to the street (see 3.3.1).

3.2.1 f - Orient building entries, windows, patios and balconies to face the fronting and flanking streets, with primary entries clearly visible and directly accessible from the sidewalk see (3.3.1).

3.2.1 g - Building design elements, details and materials should create a well-proportioned and cohesive building design and exhibit an overall architectural concept (see 3.3.6).

In addition, this proposal conforms to the 2040 OCP – Future Land Use guidance of Core Area – Neighbourhood, as ground-oriented multi-unit residential is a supported use. The following pillars are met:

1. Stop planning new suburban neighbourhoods.
Creating sensitive infill within existing neighbourhoods reduces the desire for new suburban neighbourhoods to be planned. In turn, density is focused in areas with existing services and nearby transit, walking, and biking options.
2. Promote more housing diversity.
Infill housing allows for diverse housing options within the Core Area of Kelowna. Many tenants or property owners are searching for “missing middle” housing which provides appropriate parking, ground-oriented or rooftop outdoor space, and multiple bedrooms for growing families.
3. Protect and restore our environment.
To enhance the site, the landscape plan proposes that 6 trees will be planted in the landscape area, which will significantly improve soil and water consumption, carbon storage, provide shade, and improve air quality on the site. In addition to trees; an abundance of turf, rock mulch, and ornamental grass plantings will be distributed around the site.
4. Prioritize sustainable transportation and shared mobility.
The subject property is located on Ethel Street which contains an Active Transportation Corridor (ATC). In addition, a BC Transit bus route is located on Richter Street, approximately 360.0m from the subject property. Therefore, residents of the subject property have the opportunity to access public transit or an ATC within walking distance of their doorstep.

Site Layout

As shown on the attached drawing set, the proposed units are separated into 2 buildings with 5 dwelling units in total. Units 4 and 5 are fronting both Morrison Avenue and Ethel Street, while unit 1 is fronting Ethel Street and the rear lane. Units 2 and 3 are fronting Ethel Street only. Unit 5 is a secondary suite of Unit 4, and therefore both units will be stratified together as a principal unit and a secondary suite. The remaining 4 units on the property will be individually stratified or possibly held by the owner and rented. Both buildings are 3 storeys with a height of 9.396m to the mid-point of the roof. The proposal conforms to all setbacks and regulations under the MF1 zone, and parking for vehicles is located adjacent to the rear lane. Parking requirements are met as part of this

application with 1 parking stall per unit. Bike parking is provided at the northwest corner of the site, with appropriate screening to avoid theft.

Four 240L carts have been provided on the west side of Units 1 and 2. 2 carts will contain garbage, and 2 carts will contain recycling. It is anticipated that this location will be easy for all tenants to access, and the reduction of carts will lessen the impact on the rear lane for garbage trucks and neighbours.



Figure 1 – Front façade of proposed building adjacent to Morrison Avenue and Ethel Street.

Design Details

The form and character of the proposed buildings have been designed with a traditional façade, which incorporates quality materials and building articulation to create architectural interest in the neighbourhood. The proposed main exterior of the building will be finished with several materials such as horizontal cement-fibre siding, smart trim board, and laminate shingles. Each façade will contain projections which add value to the shape of each unit. Colours include; arctic white / abyss (black) siding, and onyx (black) smart trim board. All soffits, roof shingles, and window frames will be finished in black. Front doors will be coloured black or white to contrast the horizontal siding above.

This colour strategy is intended to independently define each unit while promoting visual interest in a neighbourhood which has seen a positive amount of infill development in recent years. On the south side of Morrison Avenue, six 4-unit projects were recently constructed with external colours such as green, brown, beige, and grey. To differentiate from those units, our proposal has selected black and white as external colours. Therefore, the design of the proposed building aims to create a diversity of residential design while keeping existing features found in the neighbourhood such as black window and door frames, and similar projections with slanted roof lines. The “checkered” style of cement fibre board provided on the first storey of the proposed building was inspired by the design at 867 Morrison Avenue, which has turned out to be visually intriguing.



Figure 2 – Front Façade at 867 Morrison Avenue.

To compliment the external building finish of black and white, 6 trees are proposed along the front and flanking yard setbacks, including 2 large-sized sugar maple trees and 4 medium-and-small-sized deciduous trees. The red and green colour combination of the proposed trees, ornamental plantings, and turf will appear very attractive against the black and white background of the proposed units, without overwhelming the site due to an abundance of colour. All units have been designed with a front door located on either Morrison Avenue or Ethel Street. With the Active Transportation Corridor in place, the relationship between each unit and the street was identified as a very important feature during building design.

Target Focus

The topic of infill housing has been at the forefront of discussion in recent months. Provincial mandates to increase housing density have been used as an attempt to combat the housing crisis in BC, using infill housing as a tool. As a result, local governments across BC have improved Zoning Bylaws to allow for flexible building designs in areas originally constructed as single-detached housing. Single family homes on large lots are becoming less desirable due to the maintenance, repair costs, and purchase price. Although the focus of multi-unit dwellings are often catered towards the younger generation and young families, the proposed infill project will also provide a housing option for all ages to enjoy if desired; such as middle-aged couples, students, or retirees.

Landscaping and Private Amenity Space

As shown on the landscape plan, the site is designed with a variety of trees, ornamental grass plantings, rock mulch, and turf. 6 trees will be planted to meet landscape area regulations and to improve environmental, social, and visual conditions on the site. All existing on-site trees will be removed to allow for the proposed buildings and new trees in landscape areas.

All units have private amenity space which is provided in the form of at-grade turf and planting areas. Both road frontages have been sensitively designed to transition from public space to private space with the use of landscaping. Decorative ornamental grasses, trees, and rock mulch will soften the transition from the City boulevard to private front yards. All pathways will be impermeable to assist the snow removal process and allow ease of access for all tenants and/or guests.

Conclusion

The intention of this proposal is to create infill development in an area of Kelowna which is very walkable, bikeable, and has access to nearby amenities. The property is close to Okanagan College, Raymer Elementary, and Kelowna Secondary schools. The Pandosy and Downtown Urban Centres provide employment and entertainment opportunities. These destinations are within a comfortable walking or biking distance. This proposal is anticipated to provide missing-middle housing at a time where the local housing market has been identified as unaffordable and short of supply. The design is anticipated to blend seamlessly into the existing form of the neighbourhood, while adding additional colours and features. We look forward to hearing your comments and feedback on the project.

Regards,

A handwritten signature in black ink, appearing to read 'Birte Decloux', written in a cursive style.

Urban Options Planning Corp.

by it's Authorized Signatory; Birte Decloux, RPP MCIP

MULTI-PLEX MF1

PROJECT INFO:

894 MORRISON AVE
KELOWNA, B.C.
Legal Description:
PID: 001-454-552
Plan: KAP28548
Lot: B
Zone: MF1

LIST OF DRAWINGS:

SHEET INDEX:	
1	COVER SHEET, SITE PLAN
2	FRONT BUILDING - MAIN FLOOR
3	FRONT BUILDING - MIDDLE FLOOR
4	FRONT BUILDING - UPPER FLOOR
5	FRONT BUILDING - ELEVATIONS
6	REAR BUILDING - MAIN FLOOR
7	REAR BUILDING - MIDDLE FLOOR
8	REAR BUILDING - UPPER FLOOR
9	REAR BUILDING - ELEVATIONS
10	3D PERSPECTIVES, STREETSCAPE VIEW

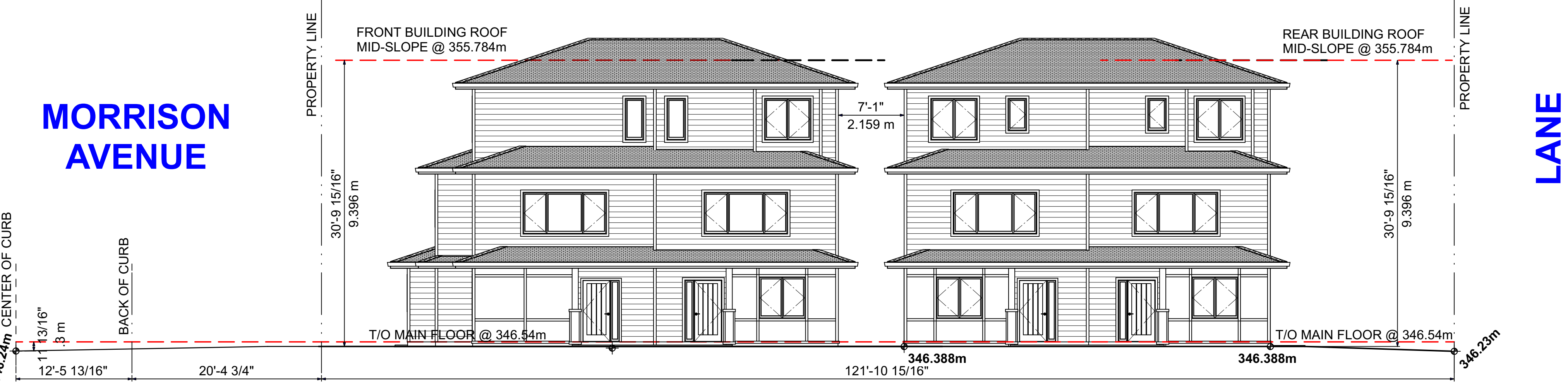


3D PERSPECTIVE (MORRISON/ETHEL)



3D PERSPECTIVE (ETHEL/LANE)

ZONING COMPLIANCE SUMMARY		
MUNICIPALITY:		CITY OF KELOWNA
CIVIC ADDRESS:		894 MORRISON AVE.
LOT AREA:		628.8m
ZONE:		MF1
PROPOSED DWELLING UNITS		5
DEVELOPMENT REGULATIONS	REQUIRED	PROPOSED
BUILDING LOT COVERAGE	55%	46.0%
SITE COVERAGE INCL. NON-PERMEABLE SURFACES	75%	66.7%
SETBACK REGULATIONS	REQUIRED	PROPOSED
FRONT (SOUTH)	3.0 m	3.068 m
LEFT SIDE (WEST)	1.8 m	1.813 m
REAR (NORTH)	0.9 m	6.038 m
RIGHT SIDE, FLANKING STREET (EAST)	3.0 m	3.314 m
BUILDING HEIGHT REQUIREMENTS	REQUIRED	PROPOSED
MAXIMUM HEIGHT	11 m	9.396 m
OFF STREET PARKING REQUIREMENTS	REQUIRED	PROPOSED
(3) 3 BEDROOM DWELLING UNITS	(3) STALLS 2.3 m x 4.8 m	(3) STALLS 2.3 m x 4.8 m
(1) 2 BEDROOM DWELLING UNIT	(1) STALLS 2.3 m x 4.8 m	(1) STALLS 2.3 m x 4.8 m
(1) 1 BEDROOM DWELLING UNIT	(1) STALLS 2.3 m x 4.8 m	(1) STALLS 2.3 m x 4.8 m
TOTAL PARKING STALLS	5	5



FRONT BUILDING

DWELLING SPECIFICATIONS:

NUMBER OF UNITS: 3
 WIDTH: 46' - 0"
 DEPTH: 40' - 8"
 FOUNDATION: SLAB ON GRADE

UNIT 3
 MAIN FLOOR AREA: 708 SQ. FT.
 MIDDLE FLOOR AREA: 673 SQ. FT.
 UPPER FLOOR AREA: 454 SQ. FT.
 TOTAL FLOOR AREA: 1,835 SQ. FT.

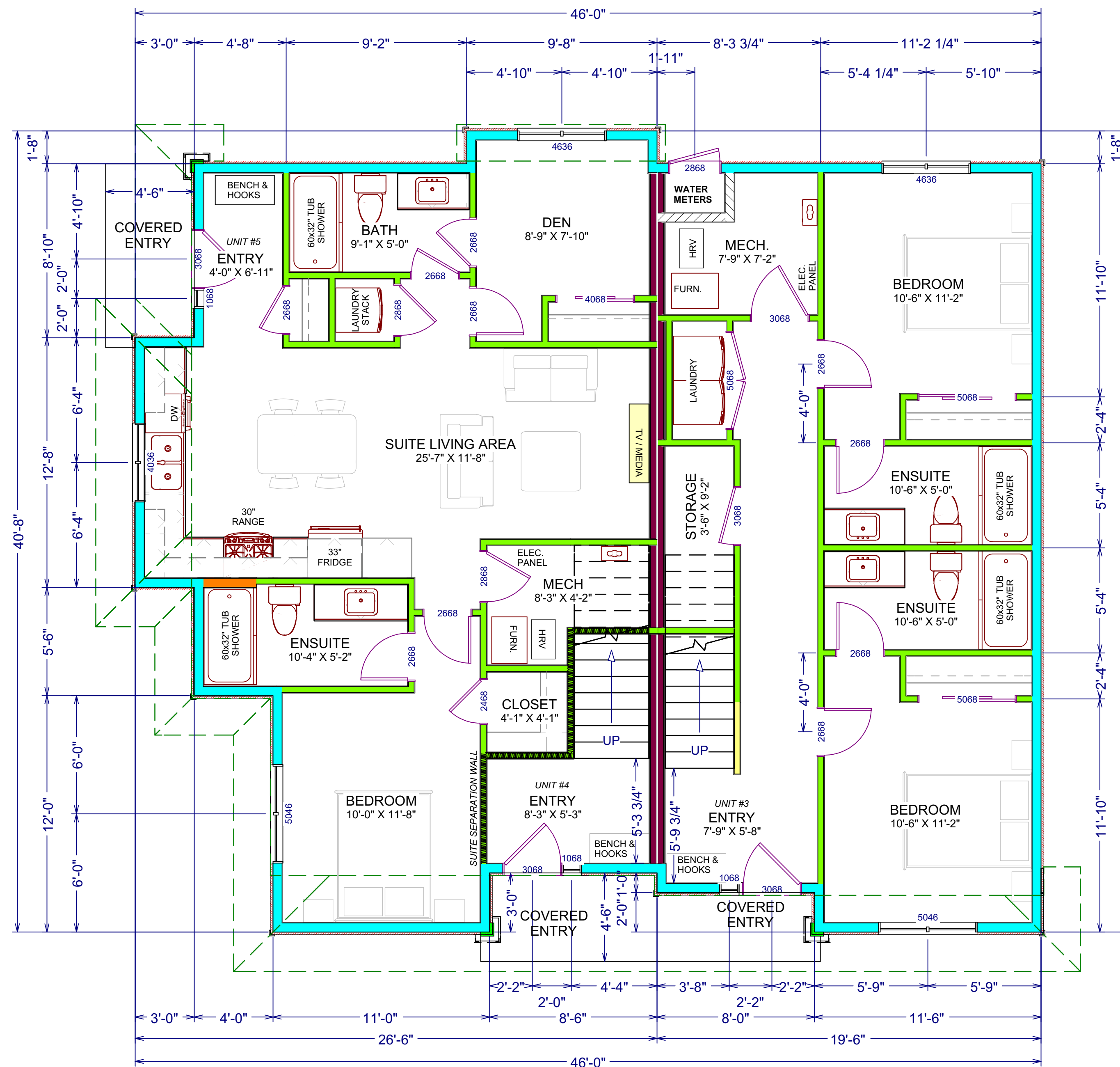
UNIT 4
 MAIN FLOOR AREA: 49 SQ. FT.
 MIDDLE FLOOR AREA: 755 SQ. FT.
 UPPER FLOOR AREA: 448 SQ. FT.
 TOTAL FLOOR AREA: 1,252 SQ. FT.

UNIT 5 (SUITE)
 MAIN FLOOR AREA: 821 SQ. FT.
 TOTAL FLOOR AREA: 821 SQ. FT.

TOTAL BUILDING FINISHED FLOOR AREA: 3,908 SQ. FT.

WALL LEGEND

W1	8" CONC. FOUNDATION WALL
W2	10" CONC. FOUNDATION WALL
W3	2x6" BEARING WALL
W4	2x6" BEARING WALL INTERIOR
W5	2x6" WALL W/ DRYWALL
W6	2x4" BEARING WALL INTERIOR
W7	2x4" WALL W/ DRYWALL
W8	2x4" HALF-WALL (42" HIGH)
W9	DOUBLE 2x4" PARTY WALL



MAIN FLOOR CEILING HEIGHT @ 8'-3/4"

UNIT 5 (SUITE)
 AREA: 821 SQ. FT.
 EXCLUDES STAIRS
 TOTAL FLOOR AREA: 821 SQ. FT.

UNIT 4
 AREA: 49 SQ. FT.
 EXCLUDES STAIRS
 TOTAL FLOOR AREA: 1,252 SQ. FT.

UNIT 3
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 EXCLUDES STAIRS
 TOTAL FLOOR AREA: 1,835 SQ. FT.



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 KELOWNA, BC
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 WWW.ZIOLADESIGN.COM

MENETHIL GROUP

CONTACT:
 SEAN PAXMAN
 (236) 998-8111

**894 MORRISON AVE.
 KELOWNA, BC**

PROJECT TITLE

TITLE
FRONT BUILDING

SCALE
 1/4" = 1'-0"

DATE
 JUL-09-2024

PROJECT NUMBER	DRAWING NUMBER
Z-154-08	2.0

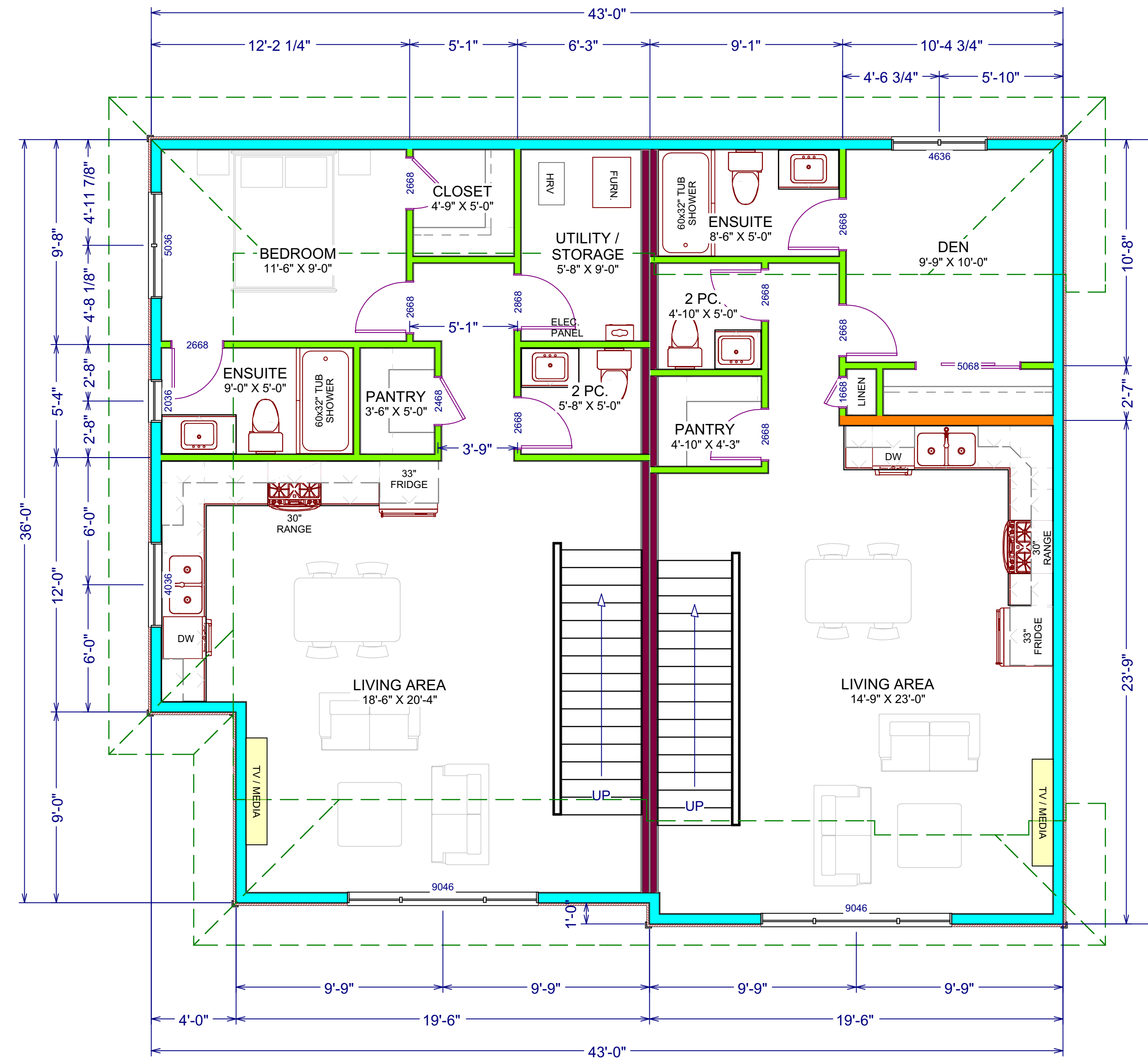
SHEET

2 OF 10

**** NOTE ****
 ISSUED FOR DEVELOPMENT
 PERMIT ONLY.
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MAIN FLOOR

FRONT BUILDING



MIDDLE FLOOR CEILING HEIGHT @ 9'-3/4"

UNIT 4
 AREA: 755 SQ. FT.
 EXCLUDES STAIRS

UNIT 3
 AREA: 673 SQ. FT.
 EXCLUDES STAIRS

WALL LEGEND

W1	8" CONC. FOUNDATION WALL
W2	10" CONC. FOUNDATION WALL
W3	2x6" BEARING WALL
W4	2x6" BEARING WALL INTERIOR
W5	2x6" WALL W/ DRYWALL
W6	2x4" BEARING WALL INTERIOR
W7	2x4" WALL W/ DRYWALL
W8	2x4" HALF-WALL (42" HIGH)
W9	DOUBLE 2x4" PARTY WALL



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3 OF 10

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FRONT BUILDING

WALL LEGEND

W1	8" CONC. FOUNDATION WALL
W2	10" CONC. FOUNDATION WALL
W3	2x6" BEARING WALL
W4	2x6" BEARING WALL INTERIOR
W5	2x6" WALL W/ DRYWALL
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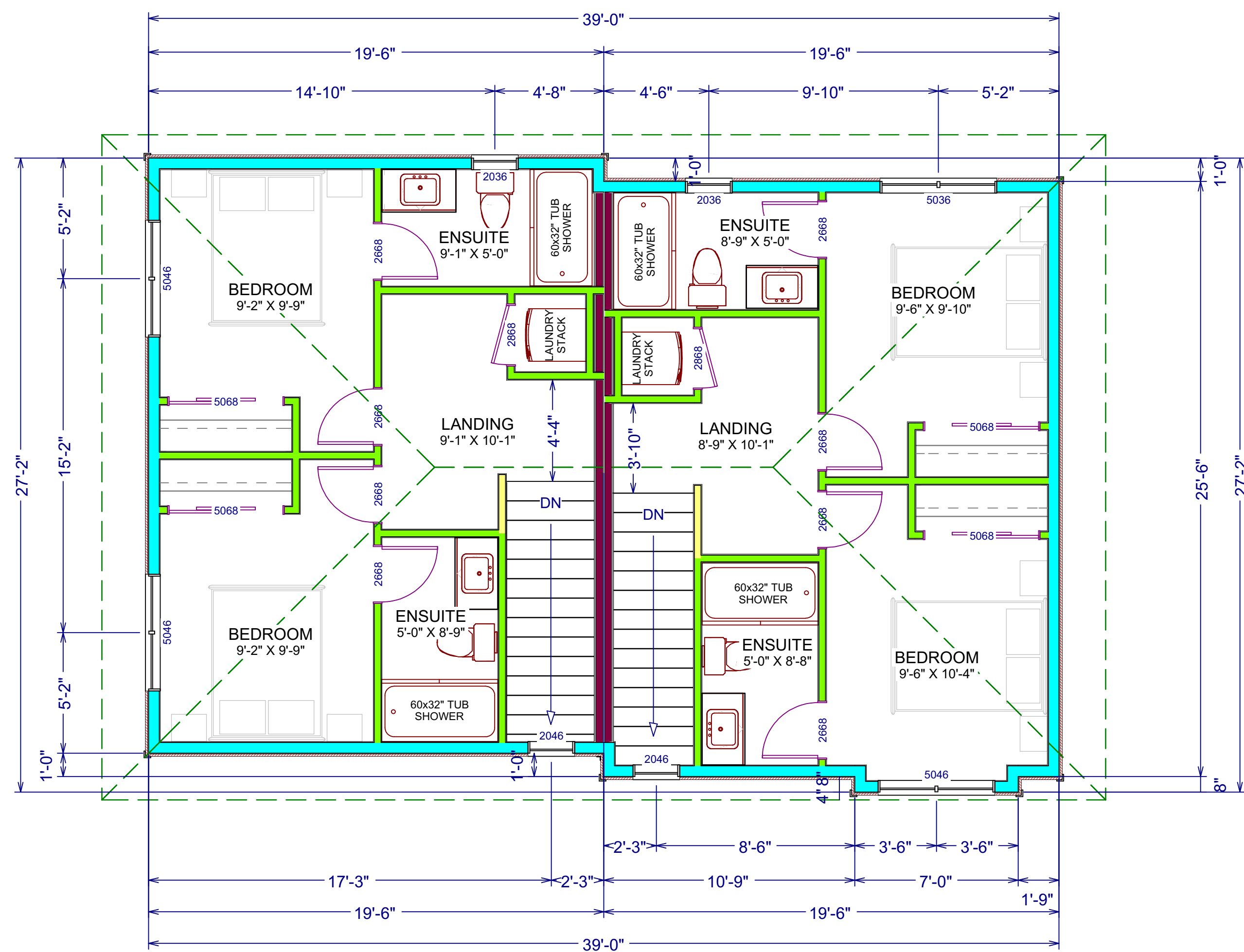
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UPPER FLOOR CEILING HEIGHT @ 8'-3/4"

TOP FLOOR @ 63.2% OF MIDDLE FLOOR

UNIT 4
 AREA: 448 SQ. FT.
 EXCLUDES STAIRS

UNIT 3
 AREA: 454 SQ. FT.
 EXCLUDES STAIRS

UPPER FLOOR

**** NOTE ****
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FRONT BUILDING



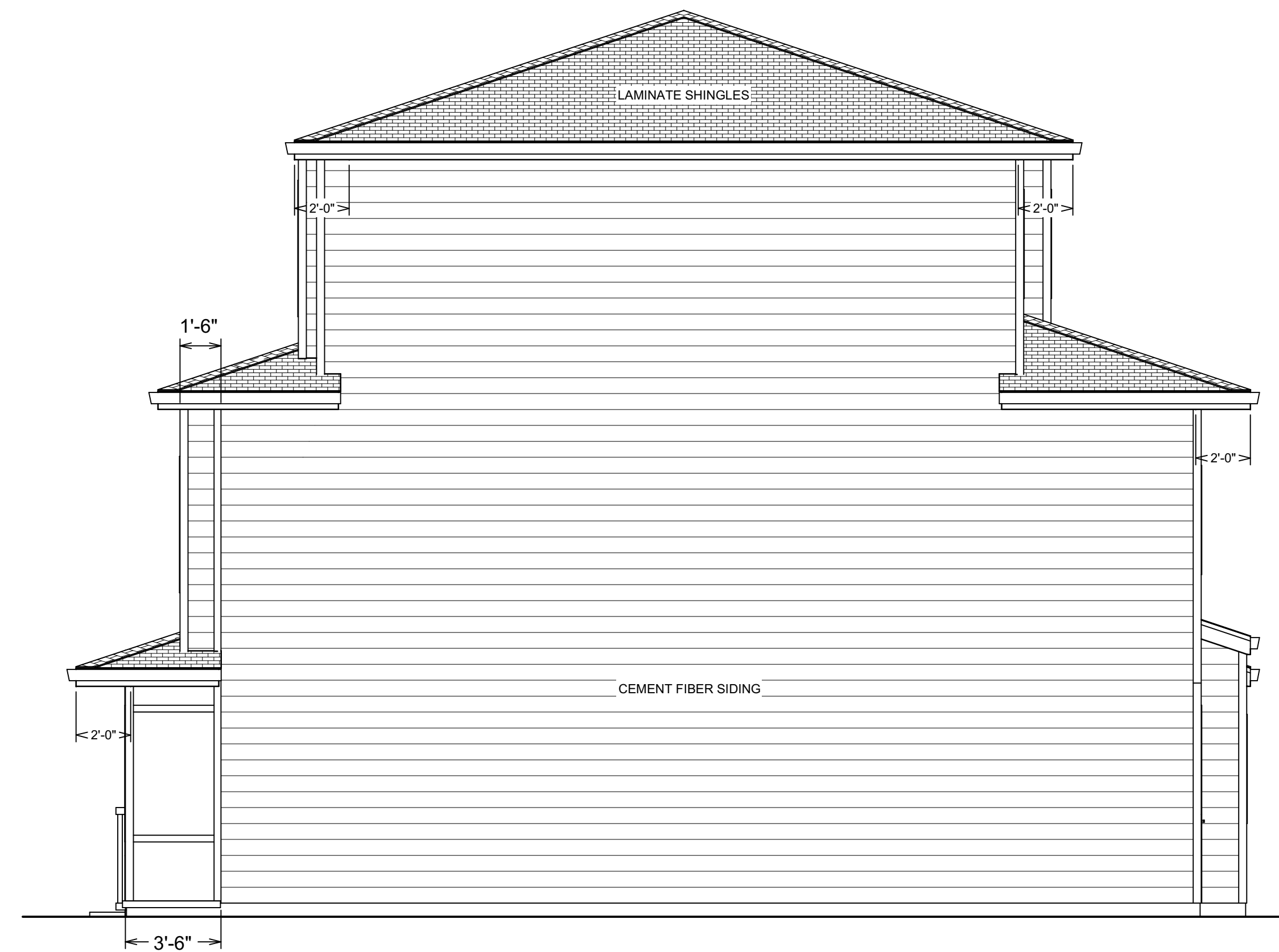
FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



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PROJECT TITLE

TITLE
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SCALE
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PROJECT NUMBER	DRAWING NUMBER
Z-154-08	2.0

SHEET

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REAR BUILDING

DWELLING SPECIFICATIONS:

NUMBER OF UNITS: 2
 WIDTH: 39' - 0"
 DEPTH: 39' - 0"
 FOUNDATION: SLAB ON GRADE

UNIT 1
 MAIN FLOOR AREA: 675 SQ. FT.
 MIDDLE FLOOR AREA: 653 SQ. FT.
 UPPER FLOOR AREA: 460 SQ. FT.
 TOTAL FLOOR AREA: 1,788 SQ. FT.

UNIT 2
 MAIN FLOOR AREA: 672 SQ. FT.
 MIDDLE FLOOR AREA: 673 SQ. FT.
 UPPER FLOOR AREA: 450 SQ. FT.
 TOTAL FLOOR AREA: 1,795 SQ. FT.

TOTAL BUILDING FINISHED FLOOR AREA: 3,583 SQ. FT.

WALL LEGEND

W1	8" CONC. FOUNDATION WALL
W2	10" CONC. FOUNDATION WALL
W3	2x6" BEARING WALL
W4	2x6" BEARING WALL INTERIOR
W5	2x6" WALL W/ DRYWALL
W6	2x4" BEARING WALL INTERIOR
W7	2x4" WALL W/ DRYWALL
W8	2x4" HALF-WALL (42" HIGH)
W9	DOUBLE 2x4" PARTY WALL



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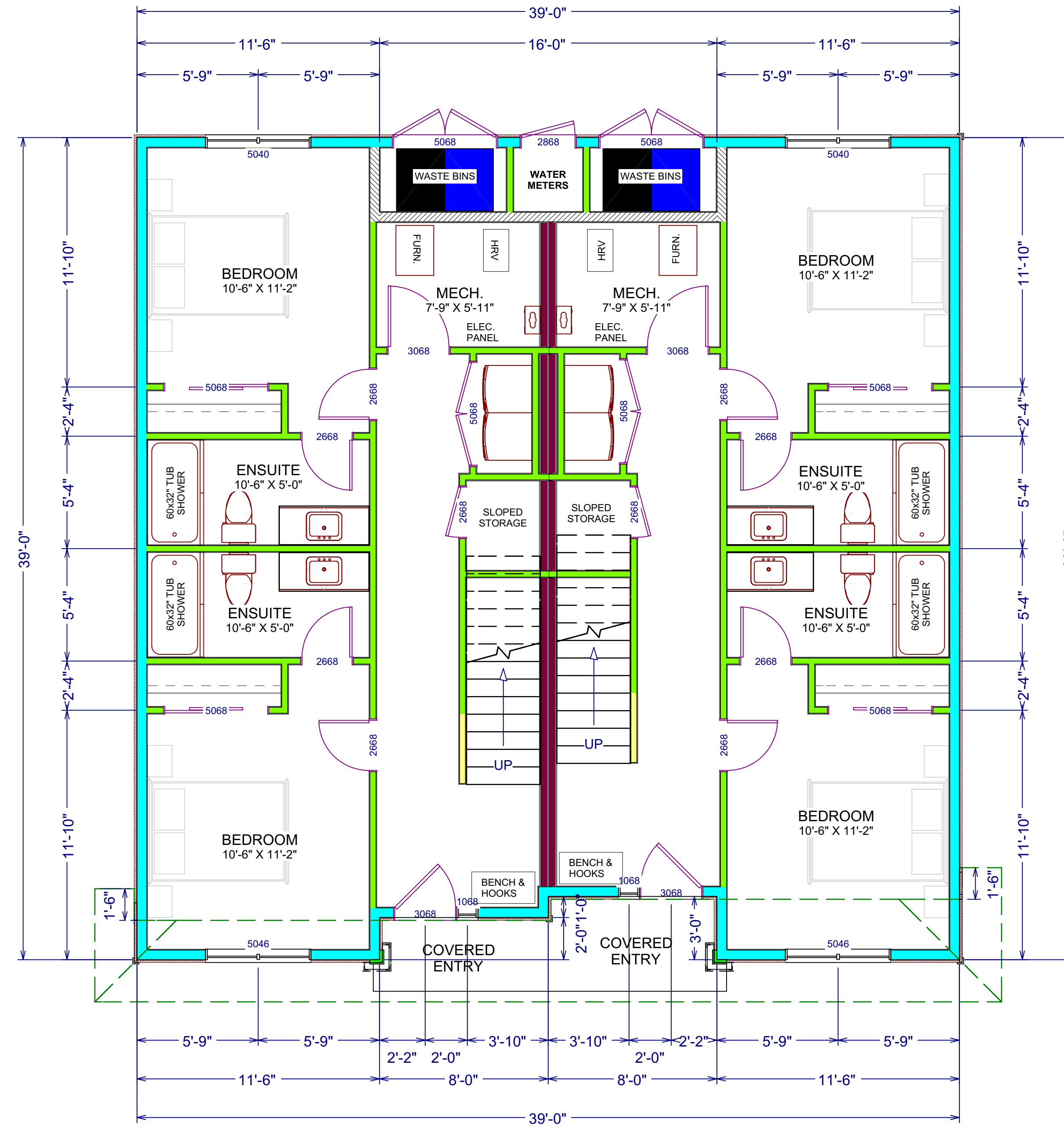
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SHEET

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MAIN FLOOR CEILING HEIGHT @ 8'-3/4"

UNIT 2
 AREA: 672 SQ. FT.
 EXCLUDES STAIRS
 L FLOOR AREA: 1,776 SQ. FT.

UNIT 1
 AREA: 675 SQ. FT.
 EXCLUDES STAIRS
 TOTAL FLOOR AREA: 1,795 SQ. FT.

MAIN FLOOR

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REAR BUILDING

WALL LEGEND

W1	8" CONC. FOUNDATION WALL
W2	10" CONC. FOUNDATION WALL
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W4	2x6" BEARING WALL INTERIOR
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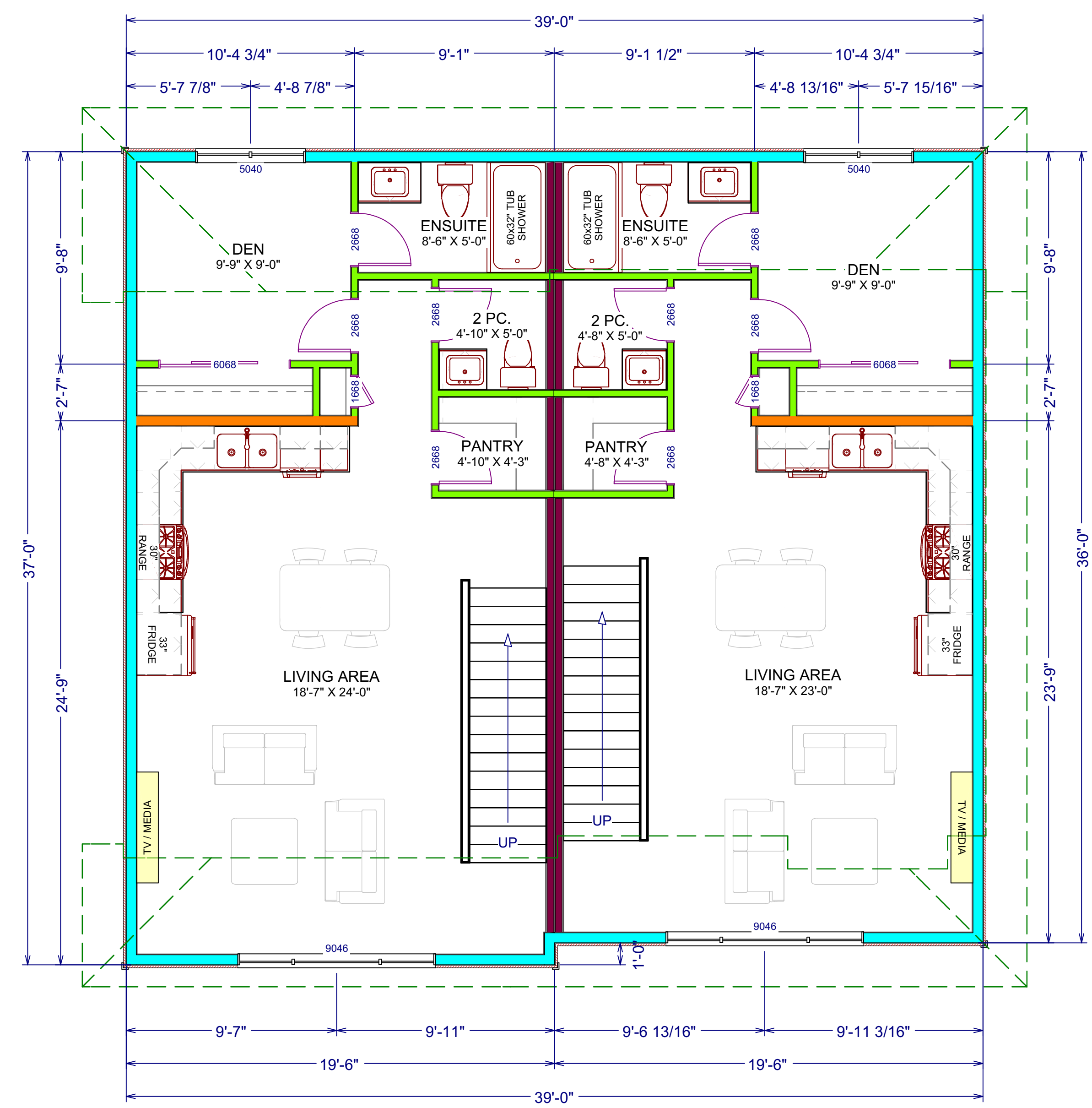
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SHEET

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MIDDLE FLOOR CEILING HEIGHT @ 9'-3/4"

UNIT 2
 AREA: 673 SQ. FT.
 EXCLUDES STAIRS

UNIT 1
 AREA: 653 SQ. FT.
 EXCLUDES STAIRS

MIDDLE FLOOR

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REAR BUILDING

WALL LEGEND

W1	8" CONC. FOUNDATION WALL
W2	10" CONC. FOUNDATION WALL
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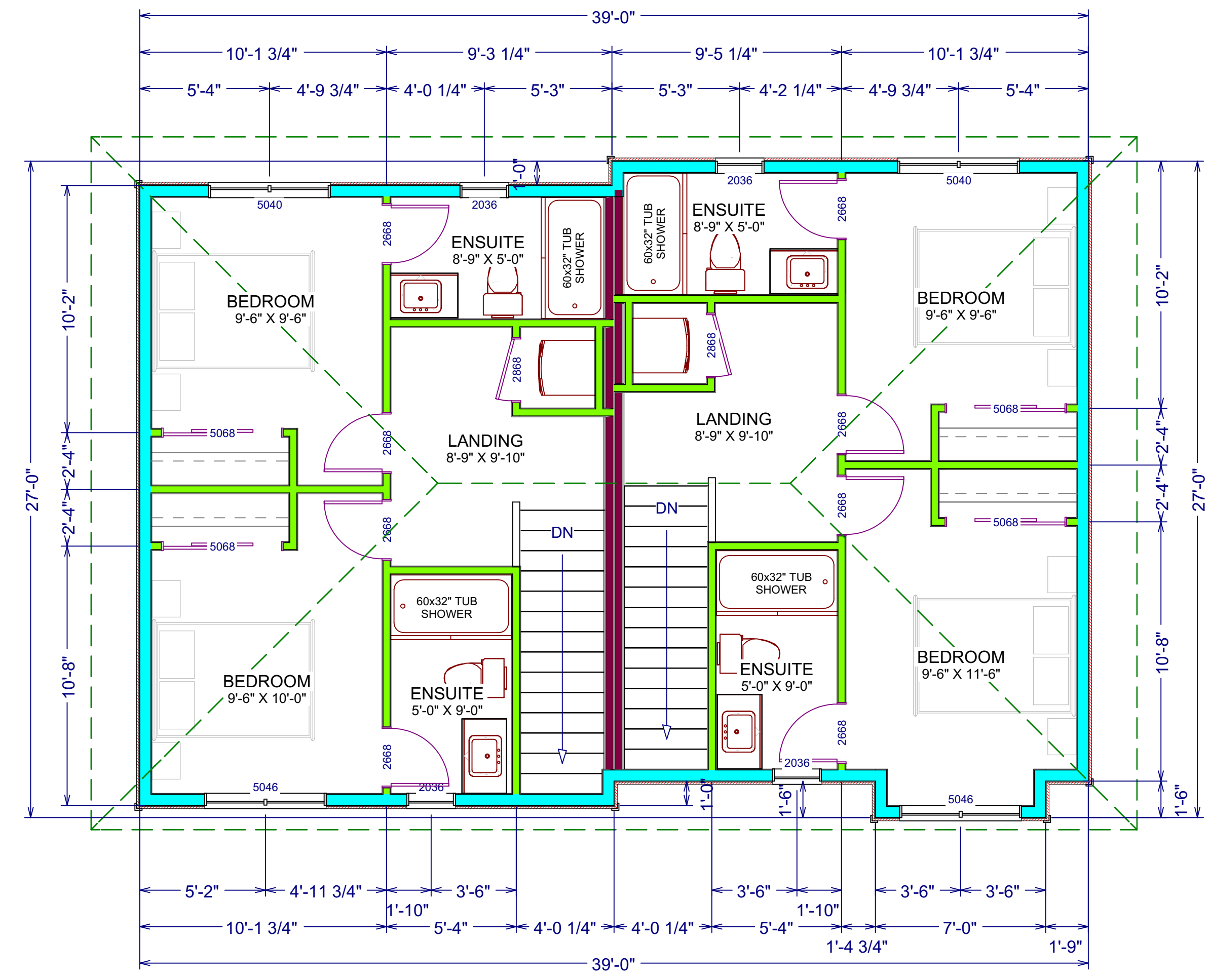
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SHEET

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UPPER FLOOR CEILING HEIGHT @ 8'-3/4"

UNIT 2 AREA: 450 SQ. FT. *EXCLUDES STAIRS*	TOP FLOOR @ 69.0% OF MIDDLE FLOOR 928 SQ. FT. MAX TOTAL BUILDING FLOOR AREA = 3,571 SQ. FT.	UNIT 1 AREA: 460 SQ. FT. *EXCLUDES STAIRS*
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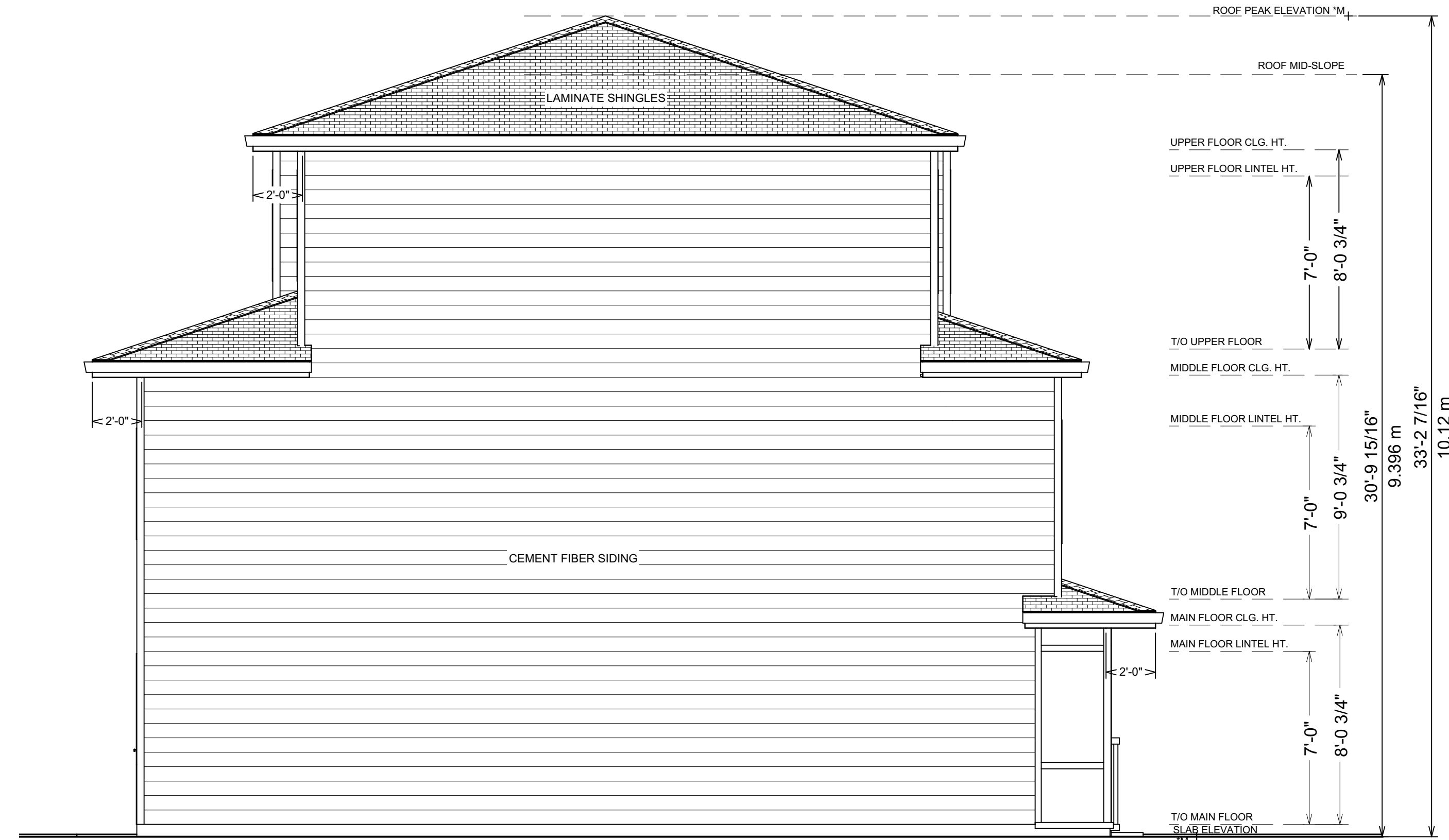
UPPER FLOOR

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REAR BUILDING



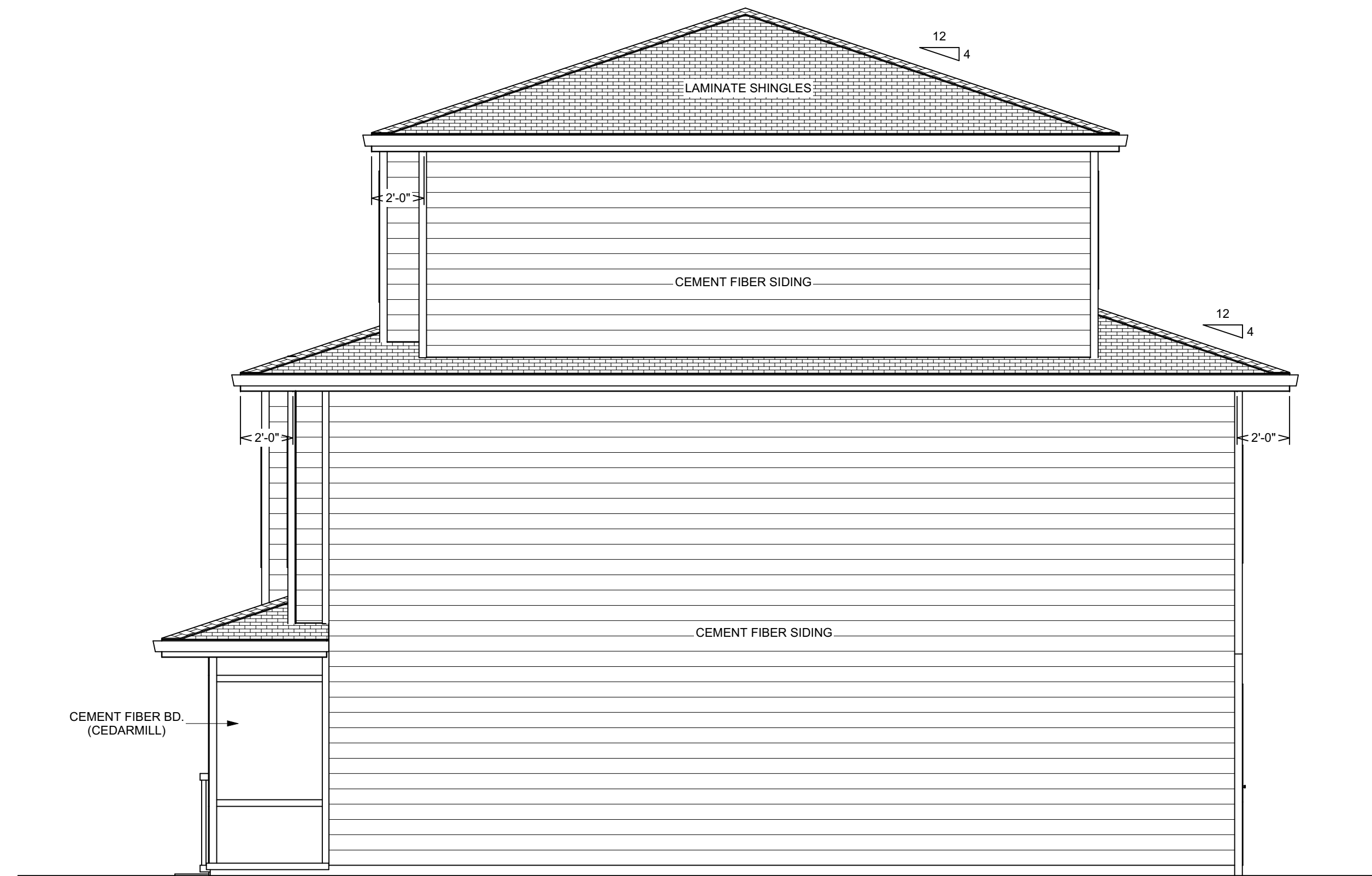
FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



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9 OF **10**

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PROJECT TITLE

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3D PERSPECTIVES

SCALE

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10 OF **10**

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FRONT BUILDING PERSPECTIVE VIEW



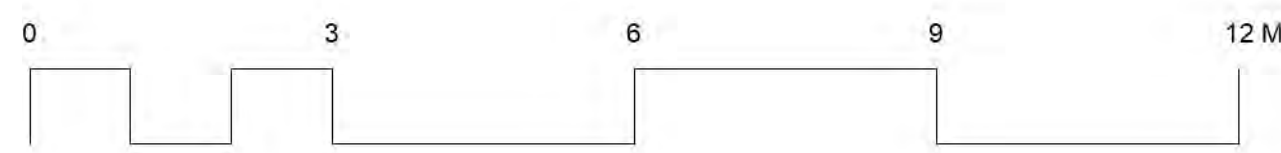
REAR BUILDING PERSPECTIVE VIEW

MATERIAL BOARD

1. CEMENT FIBER SIDING	COLOUR: ABYSS (BLACK)		4. ALUMINUM SOFFIT	COLOUR: BLACK	
2. CEMENT FIBER SIDING	COLOUR: ARCTIC WHITE		5. WINDOW SILL	COLOUR: BLACK	
3. L.P SMART TRIM BD.	COLOUR: ONYX (BLACK)		6. LAMINATE SHINGLES	COLOUR: ONYX (BLACK)	
			7. CEMENT FIBER BD.	COLOUR: ARCTIC WHITE	



STREETSCAPE VIEW



NOTES

- 1) LANDSCAPE STANDARD**
WORK OF THE CONTRACTOR SHALL MEET OR EXCEED ALL SPECIFICATIONS AND STANDARDS ESTABLISHED IN THE LATEST VERSION OF SECTION 7 IN CITY OF KELOWNA BYLAW 12375 AND THE CANADIAN LANDSCAPE STANDARD (JOINTLY PUBLISHED BY THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA) AND THE CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA)).
- 2) INSPECTIONS**
THE CONTRACTOR SHALL GIVE THE SITE INSPECTOR 48 HOURS NOTICE BEFORE ALL REQUIRED INSPECTIONS.
- 3) WOOD MULCH**
THE CONTRACTOR SHALL SUPPLY AND PLACE DOUGLAS RED FIR MULCH, AT 75MM DEPTH (MIN.) TO THE BASE OF EACH OF THE INSTALLED PLANTS & ANY TREES IN TURF TO HAVE A MINIMUM 2M DIAM. RING OF WOOD MULCH AS SHOWN ON THE DRAWINGS. NO PLASTIC FILM OR WEED BARRIER FABRIC IS PERMITTED UNLESS OTHERWISE SPECIFIED ON THE DRAWING OR THE OWNER. CONTRACTOR TO CONFIRM THE WOOD MULCH SUPPLIED IS FREE OF ANY FOREIGN CHUNKS, STICKS, SOILS, STONES, CHEMICALS, SALT AND ROOTS, AND IS NON-MATTING.
- 4) ROCK MULCH**
ALL LANDSCAPE BEDS ALONG THE BASE OF THE BUILDING TO RECEIVE 75MM DEPTH OF DECORATIVE ROCK MULCH W/ WEED BARRIER FABRIC INSTALLED BELOW.
- 4) GROWING MEDIUM**
IMPORT GROWING MEDIUM SHALL BE PLACED AT 300MM DEPTH IN ALL PLANTING AREAS AND 150MM DEPTH IN ALL TURF AREAS, AS SHOWN IN THE DRAWINGS (TREE PIT VOLUME BASED ON ZONING CALCULATION TABLE). GROWING MEDIUM IS TO MEET PROPERTIES OF TYPE 2P FOR PLANTING AREAS AND TREE PITS AND TYPE 2L FOR TURF AREAS, AS PER TABLE T-6.3.5.3 IN THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARD. VOLUME FOR TREES BASED ON ZONING CALCULATIONS.
- 5) DESIGN INTENT**
THESE DRAWINGS ARE A REPRESENTATION OF THE GENERAL DESIGN INTENT TO BE IMPLEMENTED ON THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING A LANDSCAPE ARCHITECT IF ANY ADDITIONAL CLARIFICATION OR DETAILS ARE NECESSARY TO ACCOMMODATE SITE CONDITIONS OR ARCHITECTURAL DETAILS.
- 6) PLANT MATERIAL**
ALL PLANT MATERIAL SUPPLIED AND PLACED BY THE CONTRACTOR MUST BE CERTIFIED TO BE FREE OF SUDEN OAK DEATH (PHYTOPHTHORA RAMORUM), ACCORDING TO BCLNA OR CANADIAN FOOD INSPECTION AGENCY (CFIA) STANDARDS. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE SUPPLY AND PLACEMENT OF DISEASED PLANTS RESULTING FROM THEIR NEGLIGENCE TO THE OWNER, AT SOURCE OF SUPPLY. PLANT MATERIAL AND PRODUCTS SHALL BE AVAILABLE FOR OPTIONAL INSPECTION BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL PROVIDE A (3) YEAR REPLACEMENT GUARANTEE ON ALL PLANT MATERIAL FROM THE DATE OF SUBSTANTIAL PERFORMANCE. 80% SURVIVAL RATE IS REQUIRED FOR BOND TO BE RETURNED TO CLIENT.
- 7) SUBSTITUTIONS**
THE CONTRACTOR SHALL NOT SUBSTITUTE PLANT MATERIAL OR PRODUCTS WITHOUT THE WRITTEN CONSENT OF THE CLIENT AND WILL BE HELD RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF ANY UNAPPROVED SUBSTITUTIONS.
- 8) COMPOSITE BASE SHEET**
THE PROPOSED IMPROVEMENTS DISPLAYED ON THESE DRAWINGS ARE SUPERIMPOSED ON THE BASE SHEET. THIS BASE SHEET IS COMPILED FROM ARCHITECTURAL AND/OR ENGINEERING DOCUMENTS, THE TOPOGRAPHIC SURVEY, AND OTHER DATA MADE AVAILABLE TO THE DESIGNER. THE DESIGNER SHALL NOT BE HELD LIABLE FOR INACCURACIES, OMISSIONS, CHANGES, OR OTHER ERRORS ON THESE DOCUMENTS. THE COMPOSITE BASE SHEET IS PROVIDED ONLY AS AN AID AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING THESE DOCUMENTS AND INCORPORATING/INTEGRATING ALL CONSTRUCTION AS REQUIRED TO ACCOMMODATE SAME.
- 9) CONTRACTORS' JOB SITE CONDITIONS**
CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR SITE CONDITIONS DURING CONSTRUCTION, THIS INCLUDES: SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT. CONTRACTOR TO REFER ENVIRONMENTAL PROFESSIONALS REQUIREMENTS FOR KEEPING THE SITE WITHIN REGULATIONS.
- 10) UTILITIES**
THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND REQUESTING A VISUAL VERIFICATION OF THE LOCATIONS OF THEIR UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION. MOST UTILITY COMPANIES HAVE ACCESS TO THE UNDERGROUND SERVICE ALERT PROGRAM CALL BEFORE YOU DIG. THE CONTRACTOR OR ANY SUBCONTRACTOR FOR THIS CONTRACT SHALL NOTIFY MEMBERS 48 HOURS PRIOR TO PERFORMING EXCAVATION WORK BY CALLING THE TOLL-FREE NUMBER (800) 474-6886. EXCAVATION IS DEFINED AS BEING 18 OR MORE INCHES IN DEPTH BELOW THE EXISTING SURFACE. THE CONTRACTOR IS CAUTIONED THAT EXCAVATION IS THE ONLY WAY TO REVEAL THE TYPES, EXTENT, SIZES, LOCATION, AND DEPTHS OF UNDERGROUND UTILITIES. HOWEVER, THE CONSULTANT CAN ASSUME NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE DELINEATION OF SAID UNDERGROUND UTILITIES, NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES NOT SHOWN ON THESE DRAWINGS.
- 11) IRRIGATION**
PERMANENT AUTOMATIC UNDERGROUND IRRIGATION SYSTEM TO BE INSTALLED UNDER ALL SOFTSCAPE MATERIAL BY A QUALIFIED IRRIGATION PROFESSIONAL.
- 12) GRADING & DRAINAGE**
ALL STRUCTURES TO HAVE POSITIVE DRAINAGE AWAY FROM BUILDINGS.

ZONING CALCULATION

LANDSCAPE AREA - 'L.A.' (PER TABLE 7.2)

MORRISON AVE 3M FRONTAGE
 MIN. # OF TREE'S W/ IN 'L.A.': 17 lm = MIN. (1) TREES
 MIN. GROWING MEDIUM AREA: 43 SQM TOTAL, 3 SQM PERMEABLE PAVING
 37 SQM TURF AND PLANTING = 93% SOFTSCAPE
 MIN. SETBACK FROM STRUCTURE: LARGE TREE 3.0m & MEDIUM TREES 2.2m
 MIN. GROWING MEDIUM PER TREE: (1) LARGE TREES 15 cu.m. per tree (2) MEDIUM TREES 12 cu.m. per tree

ETHEL STREET 3M FRONTAGE
 MIN. # OF TREE'S W/ IN 'L.A.': 37 lm = MIN. (3) TREES
 MIN. GROWING MEDIUM AREA: 104 SQM TOTAL, 16 SQM PERMEABLE PAVING
 88 SQM TURF AND PLANTING = 85% SOFTSCAPE
 MIN. SETBACK FROM STRUCTURE: LARGE TREE 3.0m, MEDIUM TREES 2.0m & SMALL TREES 1.0m
 MIN. GROWING MEDIUM PER TREE: (1) LARGE TREES 20 cu.m. per tree, (2) MEDIUM TREES 12 cu.m. per tree & SMALL TREES 10 cu.m.

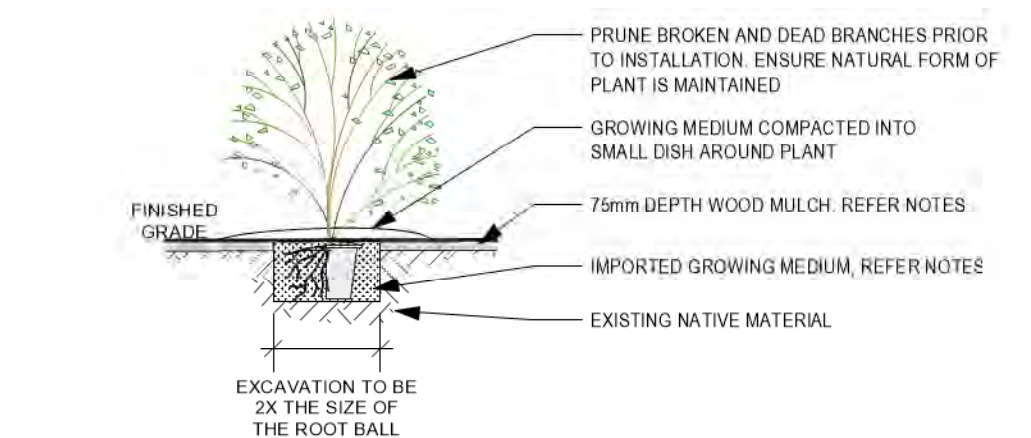
DRIVEWAY NOT INCLUDED IN CALCULATIONS

PLANTING SCHEDULE

Botanical Name	Common Name	Qty	Notes
Trees			
Acer saccharum	Sugar Maple	1	50cm cal.
Halesia carolina	carolina silverbell	4	40cm cal.
Shrubs, Perennials & Ornamental Grasses			
Buxus x 'Green Gem'	Green Gem Boxwood	20	1G CONT.
Calamagrostis x acu. 'Avalanche'	Avalanche Feather Reed Grass	28	1G CONT.
Hydrangea arbor. 'Annabelle'	Annabelle Hydrangea	14	1G CONT.
Molinia caerulea 'Moorhexe'	Moor Grass	20	1G CONT.
Salvia nem. 'Caradonna'	Caradonna Salvia	28	1G CONT.
Syringa vulgaris 'Charles Joy'	Charles Joy Lilac	10	1G CONT.

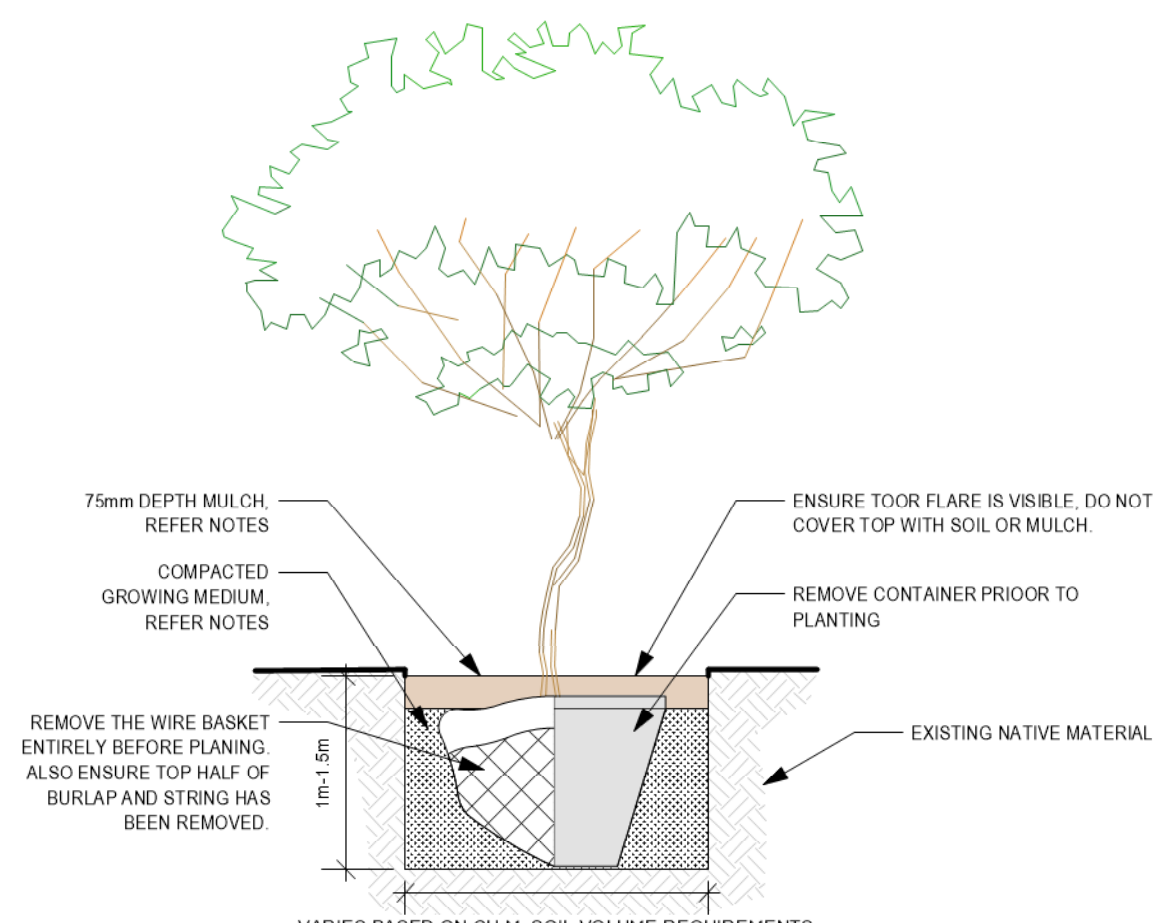
DETAILS

NOTE:
 1. ENSURE ROOT BALL IS THOROUGHLY SATURATED PRIOR TO INSTALLATION
 2. WHEN SHRUB, PERENNIAL OR ORNAMENTAL GRASS IS PLANTED IN ROCK MULCH, CONTRACTOR TO INSTALL 6cm DIA. RING OF WOOD MULCH TO HELP RETAIN MOISTURE.

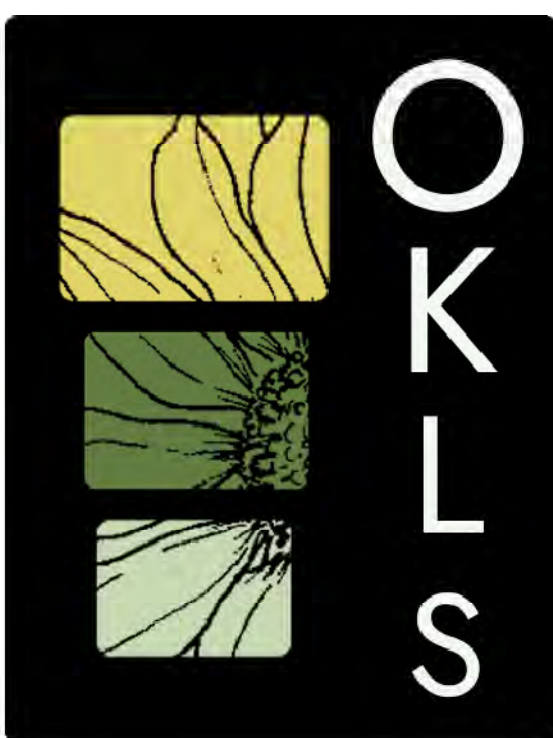


X LXX N.T.S SHRUB PLANTING IN GROUND - Typical Section

NOTE:
 1. TREES TO BE SUPPORTED IN PLACE USING CEDAR STAKES & POLY MESH STRAP ASSEMBLY INSTALLED PER MANUFACTURER'S SPECIFICATION. STAKES TO ONLY BE INSTALLED IN LOCATIONS OF HIGH WIND, STEEP SLOPES AND WHERE THE CALIBER OF THE TREE IS LESS THAN 5cm IN DIA.
 2. ENSURE ROOT BALL IS THOROUGHLY SATURATED PRIOR TO INSTALLATION.
 3. WHEN TREE IS PLANTING IN ROCK MULCH OR TURF AREA, CONTRACTOR TO INSTALL 1m DIA. RING OF WOOD MULCH TO HELP RETAIN MOISTURE.



X LXX N.T.S TREE PLANTING IN GROUND - Typical Section



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Revision Issue	DESCRIPTION	DATE	NO.
Initial Concept		09/08/24	01

PROJECT
 MGDC DEVELOPMENT & MANAGEMENT.
 1414613 BC Ltd.

SITE ADDRESS
 894 Morrison Ave,
 Kelowan

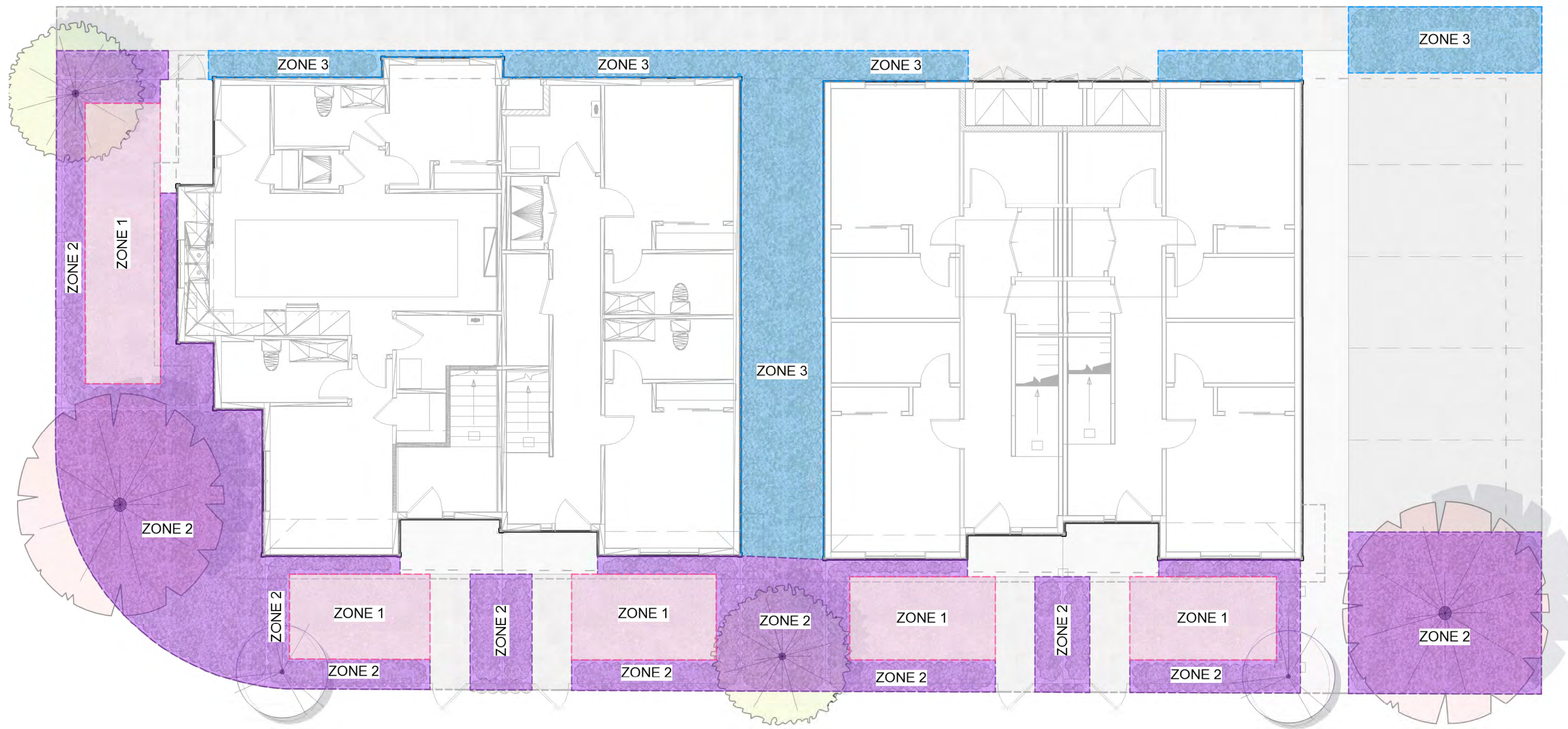
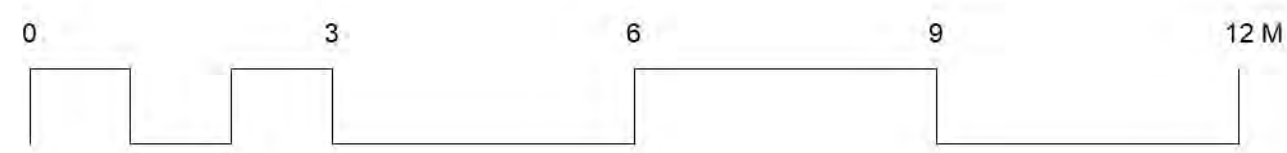
SHEET TITLE
 CONCEPT PLAN

Design by SP
 Project Number 24-034
 Date 09/08/24

SCALE 1:75
 PAGE 24"x36"

SHEET NUMBER

L-01



IRRIGATION NOTES

1. INSTALLATION PRACTICES

ALL IRRIGATION INSTALLATION PRACTICES TO MEET IABC STANDARDS, INSTALLED BY A CIT CERTIFIED PROFESSIONAL

2. SYSTEM DESIGN

SYSTEM IS DESIGNED BASED ON 10 GPM & 75 PSI AVAILABLE FROM EXTERIOR STUB OUT.

3. GRAPHIC CLARITY

DESIGN IS SHOWN SCHEMATICALLY FOR GRAPHIC CLARITY. CONTRACTOR TO INSTALL ALL COMPONENTS IN COMMON TRENCHES WHERE FEASIBLE AND INSIDE PLANTING AREAS WHENEVER POSSIBLE

4. IRRIGATION SLEEVES

ALL SLEEVES TO BE INSTALLED AT THE NECESSARY DEPTHS PRIOR TO PAVEMENT CONSTRUCTION AND EXTEND 300mm INTO LAWN OR PLANTING AREA

WATER CONSERVATION CALCULATIONS

LANDSCAPE MAXIMUM WATER BUDGET (WB) = 154 CU.M./YEAR

ESTIMATED LANDSCAPE WATER USE (WU) = 117 CU.M. / YEAR

WATER BALANCE = 37 CU.M. / YEAR

*SEE ATTACHED IRRIGATION APPLICATION FOR CALCULATION BREAKDOWNS

ZONE LEGEND



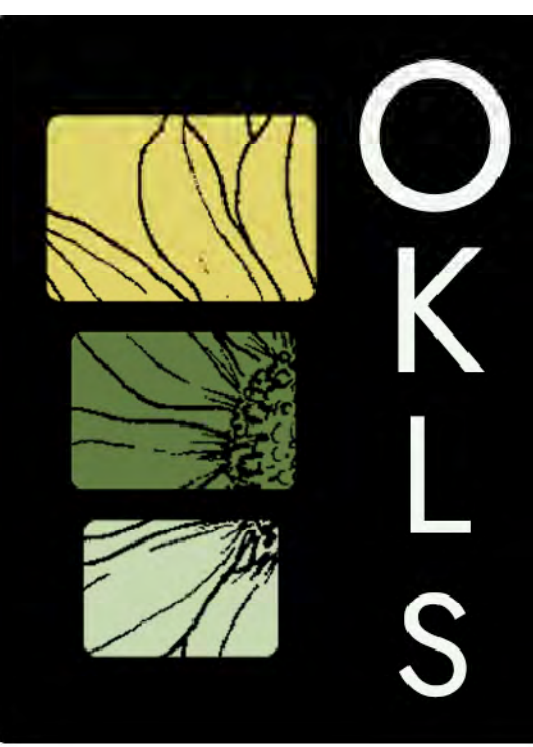
ZONE #1 : LOW VOLUME POP-UP SPRAY HEADS FOR WATERED MOWN LAWN AREAS.
TOTAL AREA: 44 SQM.
MICROCLIMATE: SOUTH EAST FACING TURF AREA WITH MODERATE TREE COVERAGE
ESTIMATED WU: 50 CU.M.



ZONE #2 : HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 102 SQM.
MICROCLIMATE: SOUTH EAST FACING PLANTING AREA WITH MODERATE COVERAGE
ESTIMATED WU: 45 CU.M.



ZONE #3 : HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 47 SQM.
MICROCLIMATE: WEST FACING PLANTING AREA WITH MODERATE COVERAGE FROM FENCE
ESTIMATED WU: 21 CU.M.



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SHEET TITLE
IRRIGATION LAYOUT PLAN

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